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# ARCHITECTURAL DESIGN GUIDELINES

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*May 22, 1996*

**Prepared for:**

The City of Lemoore



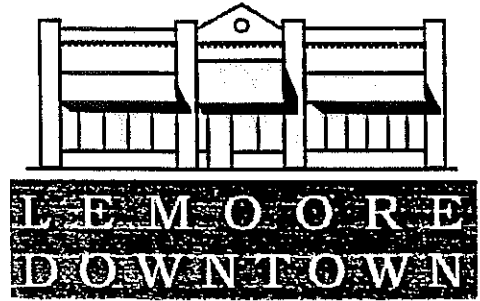
**Prepared by:**



**RRM Design Group**

*Architecture • Planning • Engineering Surveying • Interiors • Landscape Architecture*

3026 Higuera Street • San Luis Obispo, CA Phone: (805)543-1794 • Fax: (805)543-4609  
Vic Montgomery, Architect Co11090 • Jerry Michael, RCE 36895, LS 6276 • Jeff Ferber, Landscape Architect 2844



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ARCHITECTURAL  
DESIGN  
GUIDELINES

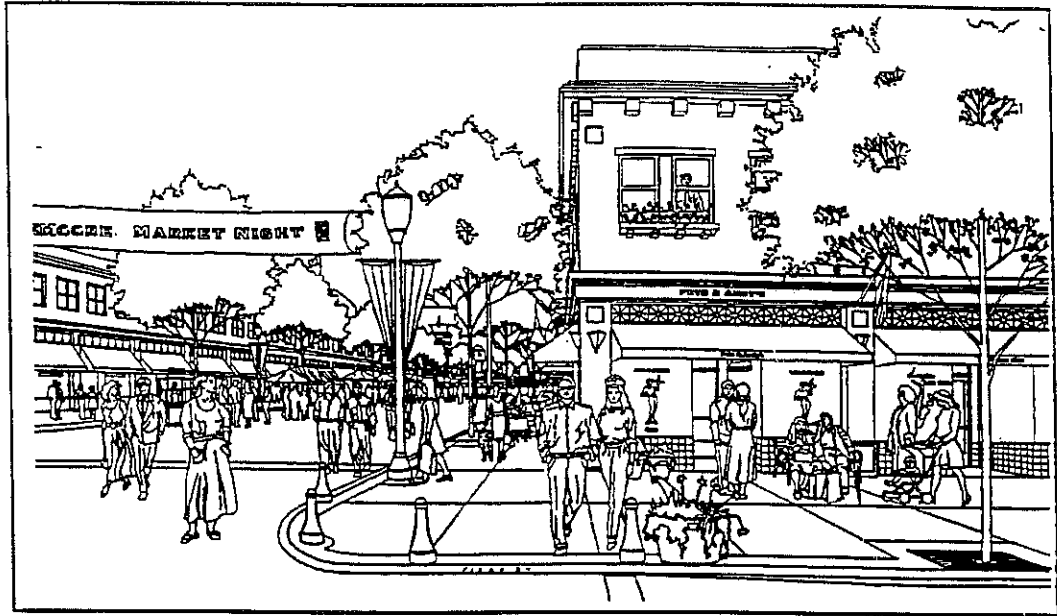
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## I. Introduction



The following architectural design guidelines for buildings in Lemoore's downtown core area establish building character and design criteria for all new buildings, renovated buildings, and remodels. These guidelines should be used in conjunction with the adopted Downtown Revitalization Plan. While the Revitalization Plan outlines general design recommendations, the Lemoore Design Guidelines provide more detailed and comprehensive design descriptions, guidelines, and recommendations for enhancing downtown property. As a part of the revitalization process, building beautification and preservation of the historic pedestrian character in the downtown area were identified as two of the most important improvement objectives. These design guidelines suggest a range of improvement options from basic cleanup, painting, signage, and awning programs, to comprehensive building renovations and new structures. They are intended to provide property owners, merchants, and their designers with direction for improvements in conjunction with the City of Lemoore adopted ordinances and regulations.

### Goals of the Design Guidelines

#### Design Guideline Goals:

- Establish a hierarchy of building types in the downtown area by designating landmark buildings and landmark sites which identify special and important places.
- Provide basic design recommendations for all buildings in the downtown by promoting design creativity and variation while insuring consistency of building scale proportion and pedestrian orientation.

## LEMOORE DESIGN GUIDELINES



- Establish clear and usable design guidelines and criteria.
- Protect and enhance historic architectural buildings and utilize historic building forms and styles in future buildings.
- Clearly outline the process necessary to enact and administrate these guidelines.

### Study Area Boundary



### STUDY AREA

The downtown area that these architectural design guidelines apply to is bounded by the railroad tracks to the north, Hill Street to the west, "B" Street to the south, and Lemoore Avenue on the east. The guidelines focus on the main shopping and retail street, "D" Street, from Hill Street to Lemoore Avenue. Generally, these guidelines apply to all buildings, vacant lots, and parking lots found within this core area of downtown Lemoore.

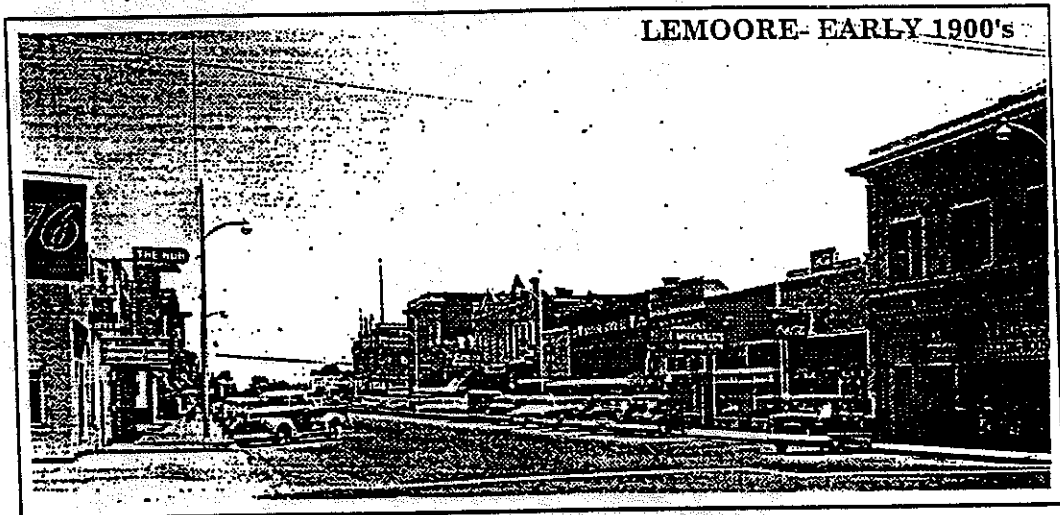
# LEMOORE DESIGN GUIDELINES



## Historical Setting

Lemoore was founded in 1871 by Dr. Lavern Lee Moore. It began as a small agricultural community primarily raising sheep and grains. In 1877 the railroad came to Kings County and a line was put through Lemoore, parallel to what is now called "E" Street. The arrival of the railroad redirected the business growth of the town towards the railroad station which eventually turned "E" and "D" Streets into the main business avenues of the community. Lemoore incorporated in 1900 which opened a new era of growth for the community governed by an elected City Council. In the early 1900's many commercial buildings were built in the downtown area including the I.O.O.F. Building on Heinlen Street, Lemoore Union High School, City Hall, and Lucerne Hotel in 1885. All of these occupied prominent locations, were built two or three stories high, and have a high degree of architectural ornamentation.

Historical photographs and histories of downtown Lemoore show that there was not a



clear overriding design theme to the downtown area, but rather a blend of Early American commercial architectural styles. As more and more buildings were constructed and infilled in the mid to late 1900's, their styles took on the design themes of the day disregarding the turn of the century architectural styles. The styles from the 60's -80's often covered up the more ornate design features with trendy siding such as aluminum and plywood siding. Today buildings are being renovated back to the original early 1900's architecture incorporating more pedestrian friendly design elements into the facade designs.

## Purpose of Guideline Document

The purpose of the architectural design guideline document is to enable the following:

- Provide the property owner, builder, and designer with a set of architectural design parameters to be used as a guide in the design or redesign of all buildings in the downtown area. These guidelines are not intended to replace or to be used in lieu of applicable state and local building codes and site development standards. They should be used in conjunction with the adopted Downtown Revitalization Plan.

## LEMOORE DESIGN GUIDELINES



- Enhance the street character consistent with Lemoore's historic, cultural, and architectural character as set forth in the Downtown Revitalization Plan and one that will result in a pleasing and pedestrian friendly street scene.

### Users

Users of this document will consist of the following groups:

Property owners will utilize these design guidelines in conjunction with the City of Lemoore's zoning code, the Downtown Revitalization Plan, and the building codes to develop designs for commercial structures in the area.

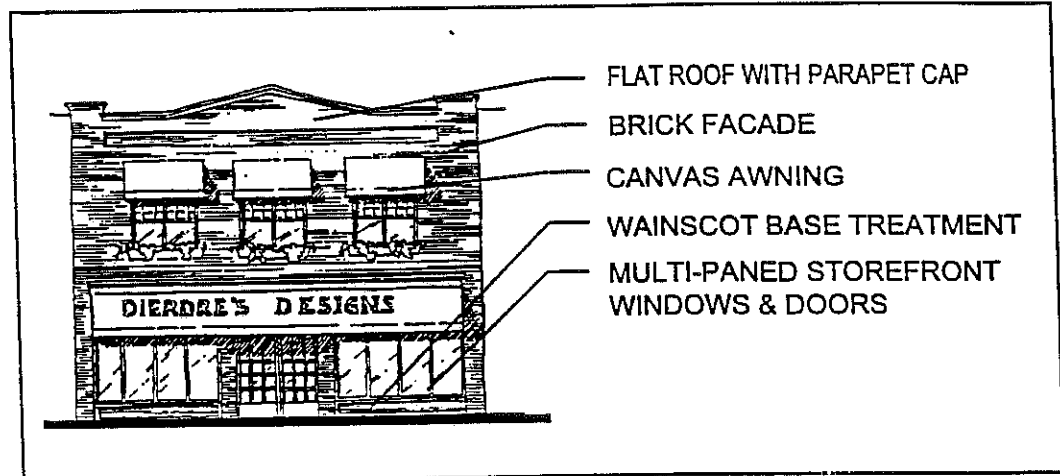
Design professionals working with the property owner will utilize these design guidelines for creation of new commercial structures, remodeling, or retrofitting of the existing structures in the core area.

City staff, when meeting with the property owners and design professionals, will utilize these design guidelines to review applicant proposals and provide basic design direction. City staff will also use these design guidelines when working with public review boards such as the Design Review Board, Planning Commission, and City Council.

Public review bodies such as the Design Review Board, Planning Commission, and City Council will use these guidelines as they review plans and participate in discretionary actions on projects in the study area.

### Architectural Character

The architectural character desired for downtown Lemoore reflects the architectural style of the existing historic buildings of the early 1900's. Many of Lemoore's landmark buildings, such as the Odd Fellows Hall, the old Hotel Lemoore, and the old library, are from this period which was one of downtown Lemoore's most prosperous periods. It is the objective of the Design Guidelines to allow for flexibility, innovation, and creativity in the design of new buildings and the redesign of existing buildings, while maintaining and enhancing the basic architectural character that currently exists. Throughout America a significant number of commercial structures were built in the 1920's and 1930's which adapted the more ornate style of Classical Chicagoan, Art Deco, Art Nouveau, Neo-Gothic, California Mission, and Greek Revival, to create a more simplified commercial architectural style. This was done to emulate these styles in a less expensive way and represented the most economical version of the design style sub-categories. These were especially popular in small towns throughout the country that were not wealthy enough to construct highly ornate buildings such as those built in larger metropolitan areas. This blend of more modest structures exhibiting features of some of the previously described styles are categorized as Early American Commercial style. It should be noted that these Design Guidelines do not promote pure replication of any of the above



### **EARLY AMERICAN COMMERCIAL ARCHITECTURE**

styles that contributed to form the Early American Commercial style, but rather recognized the importance of many of the features and ornamentations that create the richness and variety in Lemoore's historic downtown architecture. The following describes the various components and typical features of the Early American Commercial style. The users of this document should be generally aware of historic architectural characteristics exemplified in Lemoore's buildings; however, building design and restorations should be based on the specific design criteria set forth in Section 2 of this document.

Some Early American Commercial style architectural details include:

- Narrow street frontage – 20 to 40 feet
- Buildings located on street right-of-way or back of sidewalk
- Brick or block masonry walls
- Limited relief on upper levels
- Flat or low pitched roof forms with parapets and detailed building corners
- Multi-paned storefront windows and doors with canvas awnings
- Recessed entries
- Transom windows
- Simple wainscot base treatment such as tile, brick, relief band, or color band

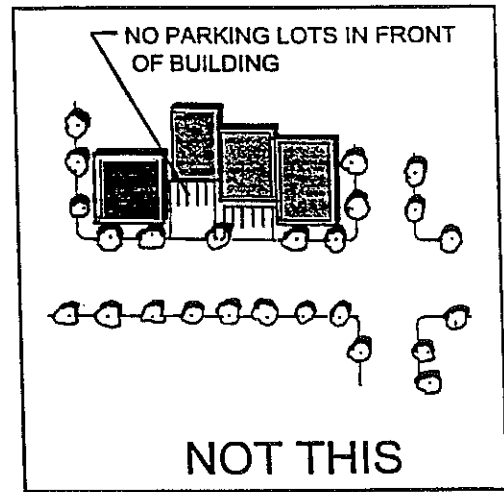
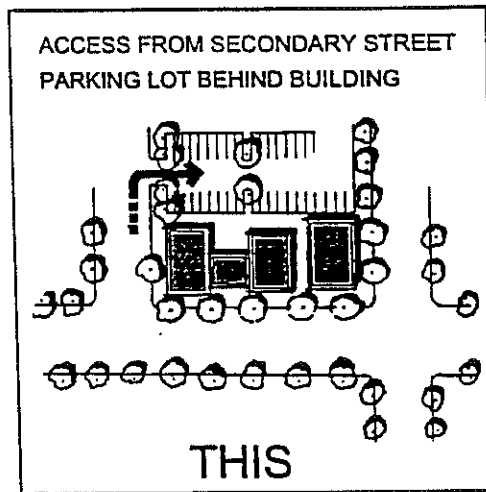


**II. Architectural Design Criteria**

This section of the design guidelines document will provide user-friendly design criteria supported with descriptive graphics:- It is important that new structures, as well as facade enhancements, support the goals of the downtown revitalization plan creating a cohesive downtown street environment. The following design criteria highlights key architectural elements that will help create a character compatible with the existing early 1900's architectural style yet allow flexibility and individuality.

**Parking**

Parking should be efficient, convenient, and provide easy access to downtown commercial uses. To enhance the pedestrian experience and maintain a continuous street frontage for retail, parking lots should be located behind buildings or have a low wall at edge of sidewalk linking building facades on either side of parking lot.



**PARKING LOT LOCATION**

Off-street parking lots should provide clear, well lit, and signed pedestrian routes from parking spaces to sidewalks and building entrances.

Use design features such as enhanced paving on walkways, trellis structures, landscaping, and low scale and ornamental lighting to distinguish the pedestrian route from the vehicular route.

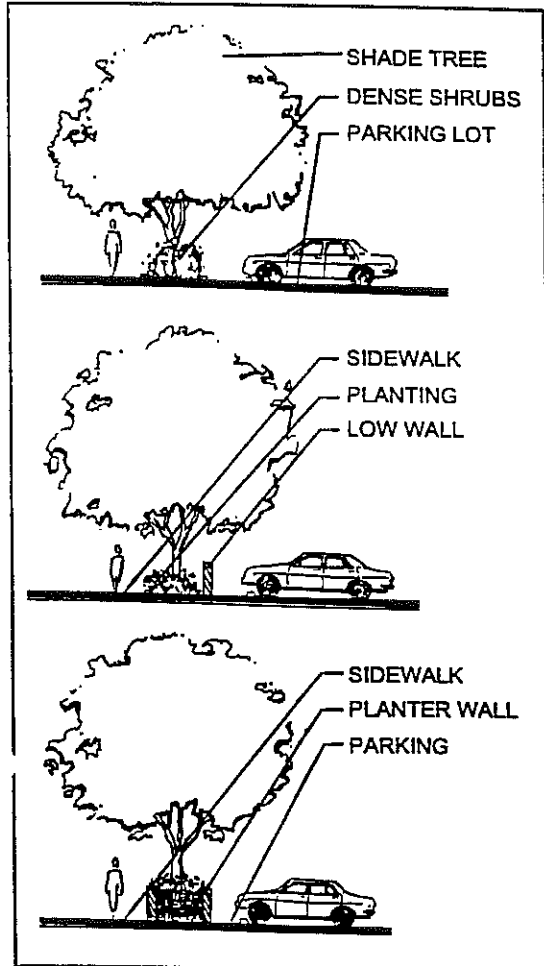
Parking lots should be well landscaped (1 tree per three spaces) with trees and shrubs to provide shade and soften the impact of larger expanses of paving. Trees with large canopies such as Bradford Pears or Camphors are encouraged. Accent trees such as Crape Myrtle or Pistache at entries and end of parking bays are also suggested.



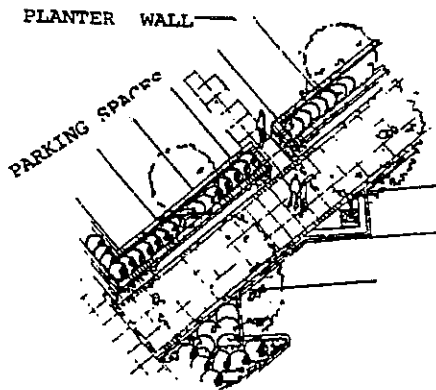
Access to off-street parking lots should be taken from alleyways and side streets rather than primary shopping streets. When parking is accessed from a main street, the parking lot entrance should be well signed, screened with landscaping, and shared by adjacent businesses where possible.

Low walls, planter walls, and/or landscaping should be used to buffer parking lots from the street scene.

When walls are used, leave breaks in walls for pedestrian circulation.



PARKING BUFFER



**Form and Massing**

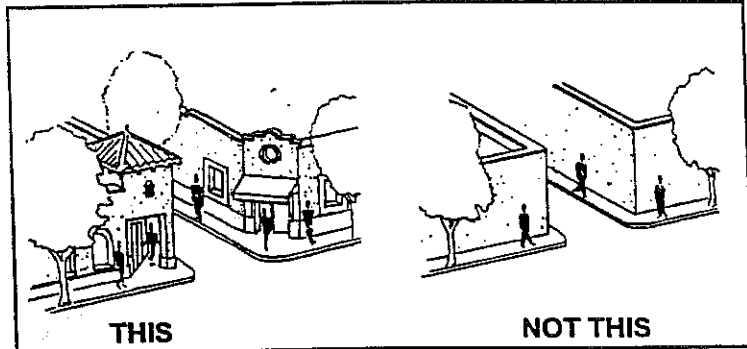
Consistency of the form, massing, and location of buildings will help establish continuity along the downtown street scene. The size and location of new structures should be compatible with adjacent buildings.

Building elements should create a rhythm of bays generally between 20 and 30 feet wide. Breaking the facades into smaller sections will help minimize the impacts of large structures.

Corner buildings are recommended to be a minimum of two-story. Key corner locations along D Street should have landmark buildings which are more stately, well detailed, and incorporate architectural elements such as towers, arcades, or balconies. See landmark building section.



To provide convenient pedestrian circulation and architectural interest, corner buildings should incorporate features such as angled corners and walk-through arcades.



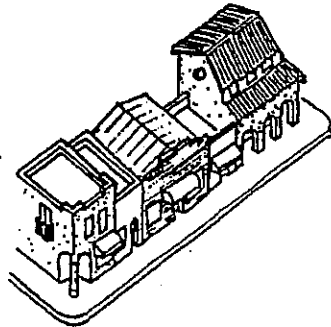
**CORNER TREATMENTS**

New buildings should be located against the sidewalk to create a strong edge along storefronts and streetscape and to increase visibility of interior retail space.

Building facades should be parallel to the street rather than at an angle.

Building setbacks should generally be zero feet unless providing areas for seating, building entries, or pedestrian areas such as arcades and courtyards.

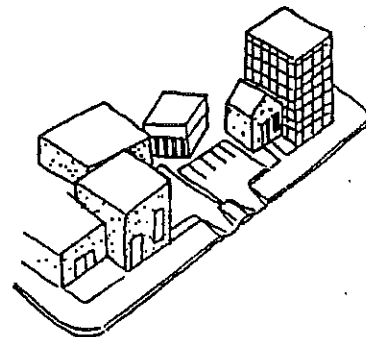
- BUILDINGS AT BACK OF SIDEWALK
- HIGHER BUILDINGS ON CORNERS WITH APARTMENTS ABOVE COMMERCIAL



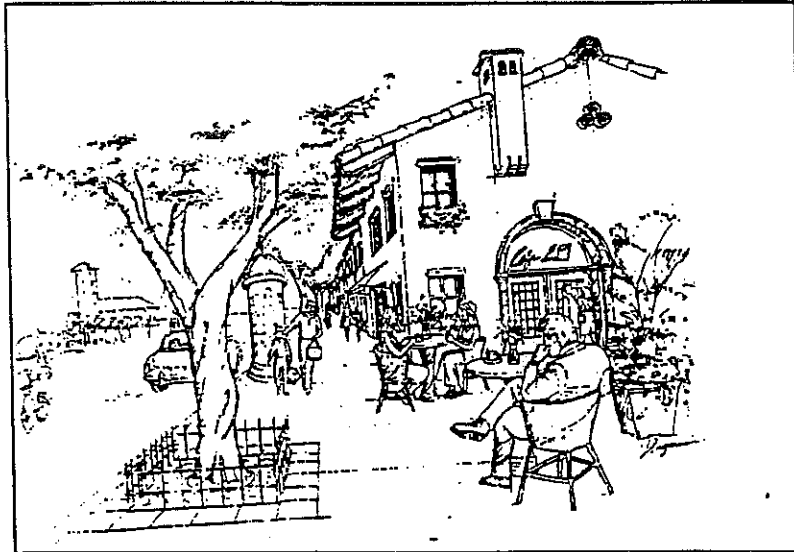
**THIS**

**BUILD TO BACK OF SIDEWALK**

- DO NOT PLACE BUILDINGS AT ODD ANGLES OFF OF STREET RIGHT - OF - WAY
- PARKING IN FRONT OF BUILDING NOT ALLOWED

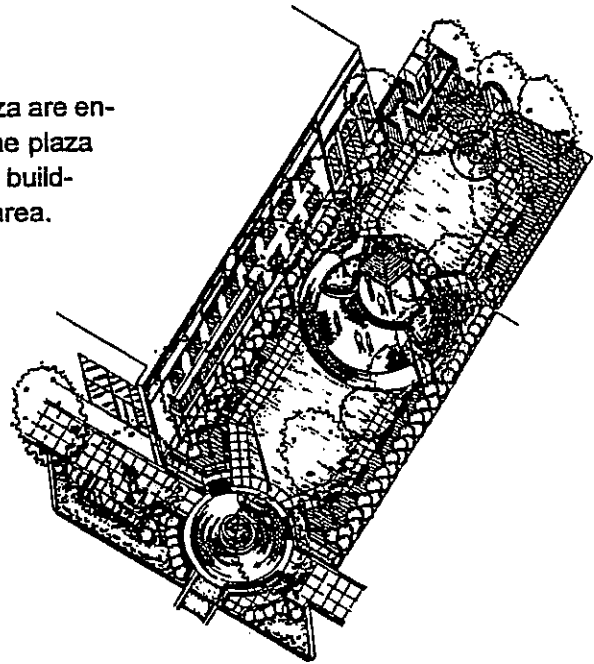


**NOT THIS**



Courtyards, outdoor cafes, arcades, and plazas provide open space within a commercial area and are excellent places for pedestrian activity.

Buildings adjacent to "D" Street Plaza are encouraged to provide access from the plaza as well as utilize a 12-foot area along building for extended seating or display area.



**"D" STREET PLAZA**

**Roof Forms**

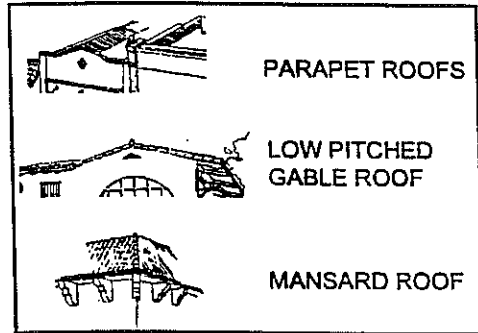
Inspired by the architectural styles of the early 1900's, the existing roof forms in Lemoore are primarily flat roofs with parapets, with a few low pitched gabled roofs and mansard roofs. Design and treatment of roof forms help identify architectural style and create a visually interesting street scene with varying roof lines.

Parapet wall designs should be used on flat roofs to conceal roof-mounted mechanical equipment such as air conditioners.



Simple, low pitched gable, and mansard roofs should be used with Spanish-styled architecture.

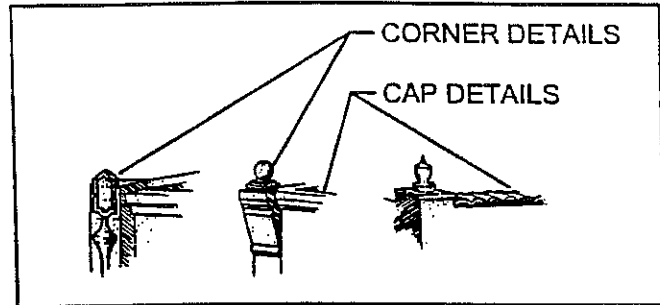
Terra cotta Spanish tile with detailed corbels and rafter tails can also be used to create architectural interests.



**VARIED ROOF FORMS**

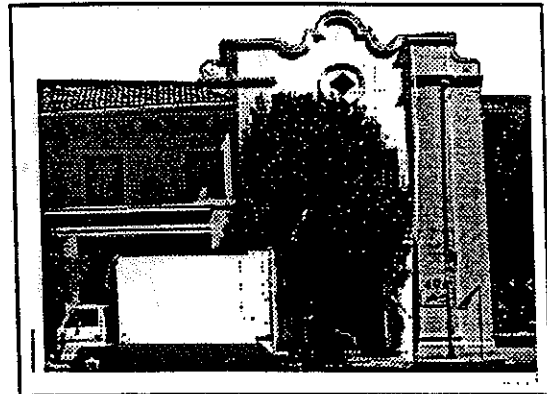
Parapet walls, whether simple or ornate should always include a cap and corner detail.

Corner details should be used to further enhance a building's identity.



**PARAPET CAPS AND CORNER DETAILS**

Varied roof forms within a building such as tower elements, gabled roofs, extended eaves, with rafters or corbels can also be used to add interest and to create an authentic Spanish style building. The building at the corner of Fox and "D" Street, shown in the photo to the right, is a good example Spanish style detailing.



## **Windows and Doors**

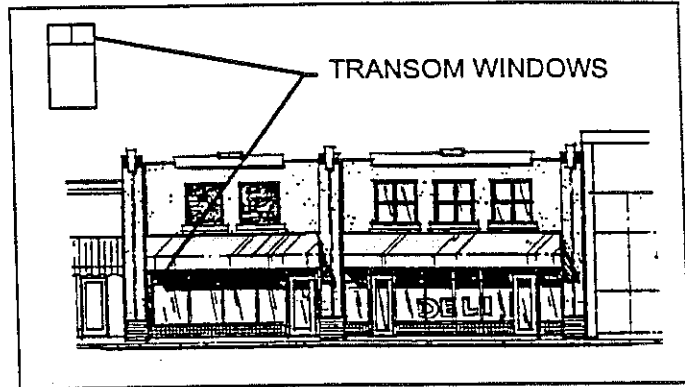
Windows and doors are very important design elements of a building. They provide architectural detail by articulating the wall plan with contrasting shapes, color and material accents, as well as physical and visual access into buildings and display areas.

Windows and doors should be carefully detailed. Quality framing, molding, and window box treatments should be utilized where possible.



Recessed windows and doors produce interesting shadows and give the appearance of traditional, thick masonry walls common in the early 1900's.

Transom windows located above the storefront windows provide horizontal consistency throughout downtown.



**TRANSMOM WINDOWS**

Consistency in the treatment and types of windows and door frames should be maintained throughout the structure. This will help unify the building facade. The use of multi-paned windows with mullions are recommended in windows and door designs to minimize expanses of glazing which detract from the desired historical character.



**RECESSED STOREFRONT**

table and chairs displayed outside in front of stores are also inviting to pedestrians. More importantly, merchants enjoy the maximum visibility for their merchandise without compromising the character of the building facade or downtown. Sidewalk encroachments should be per city code.

Buildings and doors should be located and detailed with awnings and signage to provide a clear sense of entry. This will relate the building to the street and help orient pedestrians.

Customized paving between the sidewalk and building facade will also help provide a sense of entry and is encouraged. Unique patterns and materials will personalize businesses and act a form of signage helping pedestrians identify specific businesses.

Storefront windows which open up to the sidewalk create an inviting atmosphere and are encouraged.

Carts, merchandise,

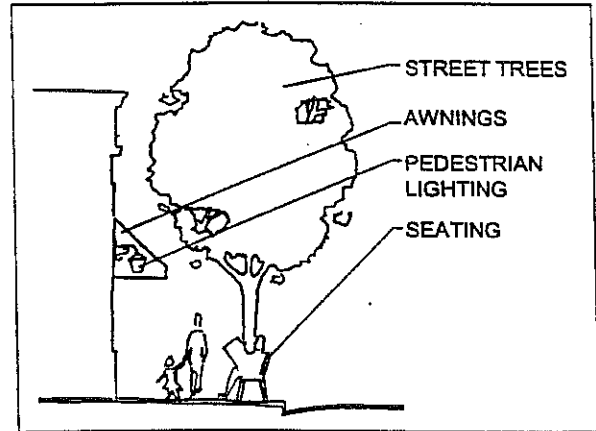


**OPEN STOREFRONT**



To create a more comfortable space for the pedestrian, the use of awnings and canopies are encouraged. Canopies protect people and furniture from inclement weather, while bringing the building facade into human scale. Awnings also provide a place to introduce color character and signage.

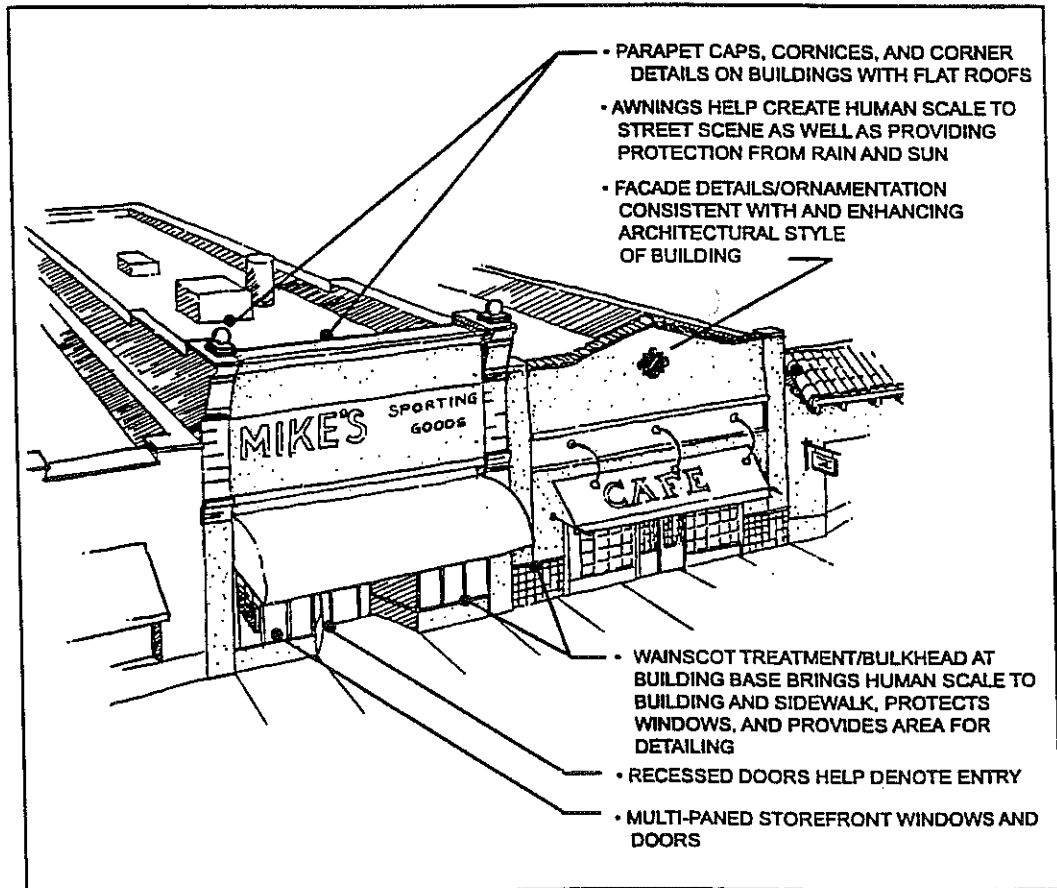
To be consistent with the desired early 1900's architecture, windows should be vertically rather than horizontally oriented.

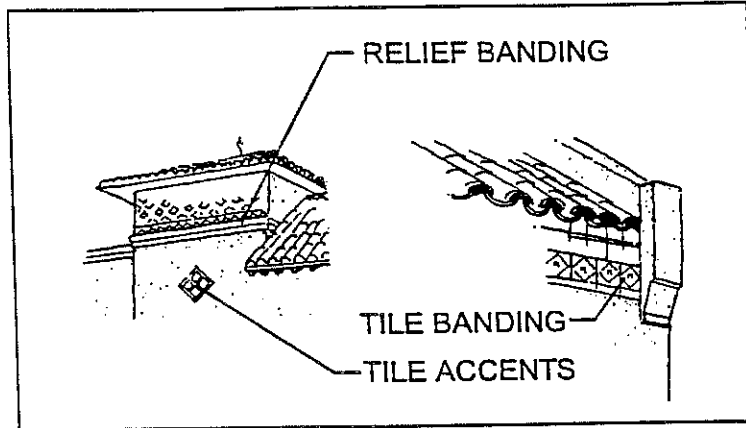


PEDESTRIAN SCALE STREET SCENE

Provide a base to storefront windows rather than extending the glass to the ground. This protects storefront glass from skateboards, bikes, etc. and provides a location for tile detailing, low seat walls, landscaping, or other architectural features.

**Architectural  
Details**





TILE & RELIEF BANDING

Architectural details can be used to enhance a new or existing structure adding color, Architectural details can be used to enhance a new or existing structure adding color, shadows, and interesting architectural forms. Often the architectural style of a building is depicted through simple details.

Molding and relief detailing around windows, doors, parapet caps, and building bases are recommended. Ornamental tile, built-up stucco relief or preassembled molding forms can be used to accomplish this.

Tile accents, lights, pots attached to wall, fountains and planters against a wall, recesses in walls, and relief bands are simple ways to add color and shadow to building facades. These are common architectural elements used when a Spanish or Mission style architecture is desired.

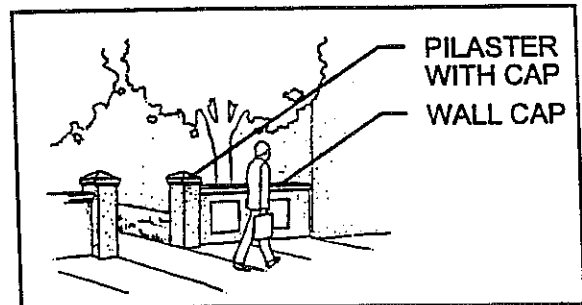
Balconies, balcony type features, and window boxes are another design detail which can enhance two-story structures.

**Garden Walls**

Garden walls are an important unifying element providing continuity to the street edge and buffering parking and service areas.

Walls should have a minimum height of 2.5 feet and a maximum height of four feet. The finish materials and design should be compatible with the architectural character of adjacent buildings.

For a clean, finished look, durability, and safety, walls should incorporate a wall cap and pilasters at entry points.

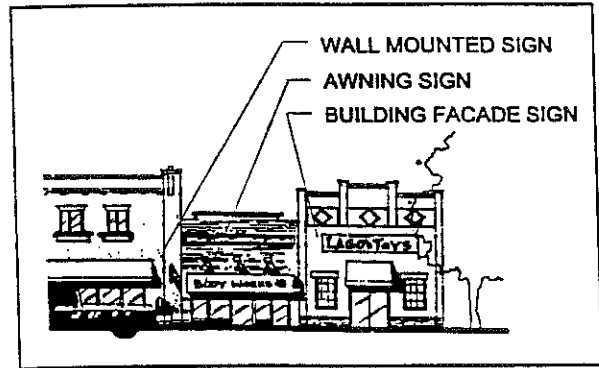


GARDEN WALLS



Signage

Signs are an important part of every business, but can too easily detract from the overall appearance of a storefront and the entire downtown street scene. These guidelines will promote signage that will serve a beneficial function and will be architecturally interesting to the individual storefronts as well as the downtown core. All new store signs must be consistent with the City's Sign Ordinance, Chapter 14, and/or must be approved by the City.



SIGNAGE



SIGN EXAMPLE

Freestanding signs are encouraged to be designed as monument signs in a style and a color which compliment the building. Monument signs are more substantial signs which are a maximum height of 4 feet surrounded with landscaping. Lighting should be spot light type and concealed from view.

All signs should be carefully integrated with the design style of the building, and be compatible with the building color and materials.

Signs located above the roof line detract from the overall downtown streetscape and are not allowed per city zoning ordinance.

Freestanding pole and pylon-mounted signs are discouraged. Animated and moving signs are not allowed per city zoning ordinance

Wall-mounted and hanging signs are encouraged providing clear and direct guidance for the pedestrian. Awning signs and pin-mounted letters are also recommended for advertising to passing cars and longer range advertising.

If lighting such as spotlighting is used on signage, it should be installed so that the light source is shielded from view.

Neon light signs may be used provided they are compatible with the design character of the building and consistent in size with these criteria.

Signs used in the window display as advertisement and sales promotions should take up no more than 25% of the window area and must comply with the City Sign Ordinance.



## Lighting

Lighting can be used to enhance architectural details with spotlighting for a shadow effect as well as provide security to a building and indicate whether a business is open. Lights should be subtle, directional, and not overpowering or glaring. Lighting sources should be integrated into the architectural design. Examples of well integrated lights include soffit lighting and accent light fixture which are a design element unto themselves.

Accent lighting should be used to accent building details such as tower elements, ornamental windows and tile, or to accent landscaping.

Light fixtures that illuminate large areas should be avoided.

Lighting used to illuminate store signs should be soft-hued and non-glaring. Bulbs should not be exposed and should focus light directly onto the sign, or building. Pedestrian lights add interesting architectural detail as well as provide security and light for pedestrians at night. These lights should be incorporated into the building and parking lot designs and be well detailed.

Recommended lamp types for lighting signs and buildings should be warmer incandescent halogen, metal halide, or "daylight" fluorescent bulbs. Cold (blue tinted) lamp types are not appropriate. Precise intensity and types of light should be recommended by a qualified design professional.

\*Refer to the final "D" Street improvement plans for recommended sidewalk design and street lighting fixture.

## Building Materials

Building materials and finishes should be selected to reinforce the overall design intent of the project and be consistent with the desired architectural character of the building. The following are suggestions for the street facades and exposed sides. Backs of building should use similar materials, however, may be less expensive and more utilitarian.

Materials and finishes should be selected for ease of maintenance and durability. The following materials are encouraged:

### USE:

*Roofs (see roof section for graphic examples)*

- Barrel vault mission tile in a natural terra cotta or clay earth tone colors
- Concrete tiles in terra cotta or earth tone colors
- Exposed wood structural members such as rafter tails, roof beams, and corbels
- Concrete or stucco corbels
- Copper accents, gutters, downspouts, and scuppers
- Built-up stucco or preformed molding on parapets



## *Building Walls*

- Stucco, adobe, brick, or cut stone are all acceptable materials to use on a main surface of a building.
- Wood surfaces in the form of lap siding or board and batten may be used when consistent with architectural character of the building.
- Ornamental tiles, wood, bricks, and glass block can be used as trim or accents around the base of the building.
- Colored concrete block used to simulate brick or older masonry products.
- Split-face block may be used on unexposed sides and rears of buildings.

## *Low Walls and Fences*

- Stuccoed masonry wall with cap detail
- Brick wall
- Wrought iron fence
- Brick or stucco masonry wall with wrought iron on top

## **DO NOT USE:**

### *Roofs*

- Brightly colored glazed roofing tiles
- Wood shingles and shake roofs

### *Building Walls*

- Reflective or dark glass
- Synthetic materials made of poor quality and resemblance to brick or masonry
- Corrugated fiberglass
- Coarsely finished or unfinished plywood
- Metal siding
- Unfinished concrete block and split-face block
- Shingles
- T-111 siding
- Slumpstone block

### *Low Walls and Fences*

- Welded wire fencing i.e., chicken wire, pig fencing, etc.
- Chainlink
- Unfinished materials such as concrete block or plywood

## **Color**

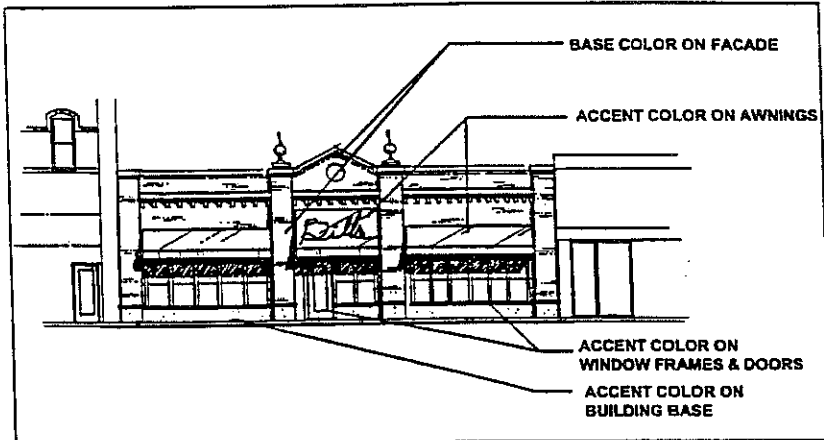
Color is an important aspect of the overall building design and street scene creating variation, while maintaining an overall consistency in the downtown area. It is very important to keep a balanced color palette using the correct proportions between the lighter "base colors" and the brighter "accent colors" on each building.



**BASE COLOR:**  
Buildings with large expanses of blank walls should have a light and subtle base color. The base color on smaller buildings or those with more elaborate detail can use slightly stronger tones.

*Base color examples:*

Light gray, cream, white, pale flesh, pale yellow, light beige.



**COLOR LOCATION GRAPHIC**

**ACCENT COLOR:**

Brighter accent colors should be used minimally to accent windows, doors, and awnings. Special materials such as glazed tile can also be used to introduce accent colors on building facades.

*Accent color examples:*

Forest green, deep blue green, brick red, deep blue, sea green.

**Screening**

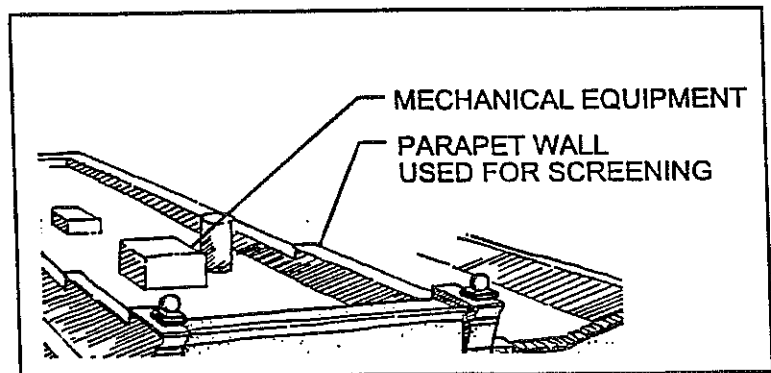
Screening of unattractive areas and facilities is important in creating an uncluttered street scene in downtown Lemoore.

Solar collectors and mechanical equipment on rooftops should be properly screened from street view with parapet walls.

Loading areas should be at rear of building to help screen them from public view.

Walls and planting should be used to screen parking lots (see parking section).

Landscaping, garden walls, and fences should be used to screen undesirable areas such as trash bins, bin loading areas, etc.



**SCREENING**

Mechanical equipment on the ground should be screened utilizing garden walls, landscaping, and/or fences.



## Renovations and Maintenance

Maintenance of buildings, public sidewalks, and spaces is critical to promoting a clean appearance in the downtown core. Cleaning up trash, debris, repair of cracks and general cleanup will go a long way to beautify Lemoore.

Buildings which do not currently use these design guidelines are encouraged to beautify by making simple cosmetic changes such as repainting, adding new signage and lighting, installing awnings, and removal of unsafe and unsightly building features such as siding and stucco which covers the original brick walls.

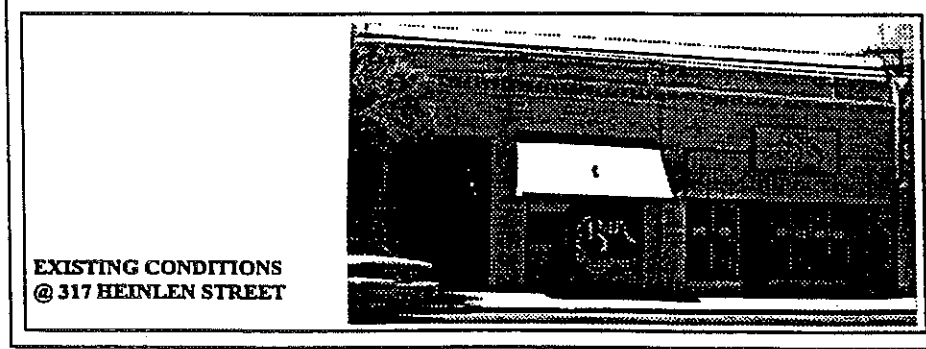
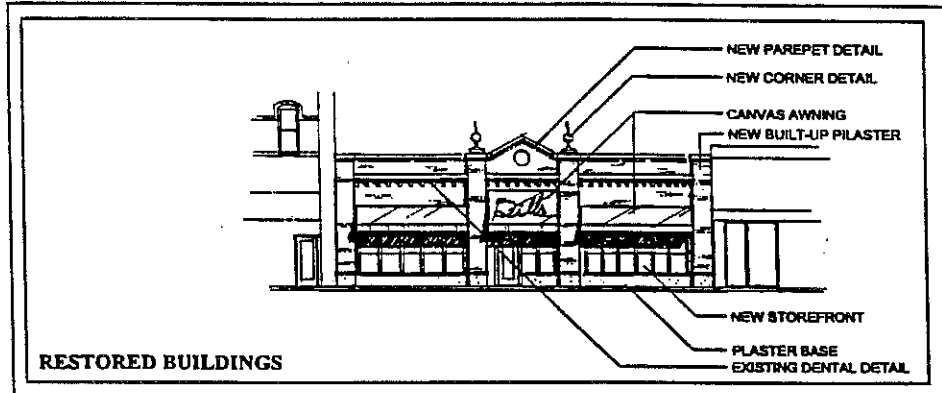
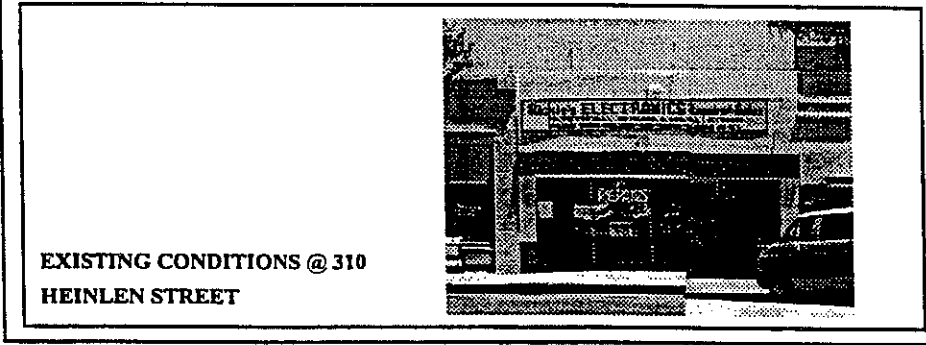
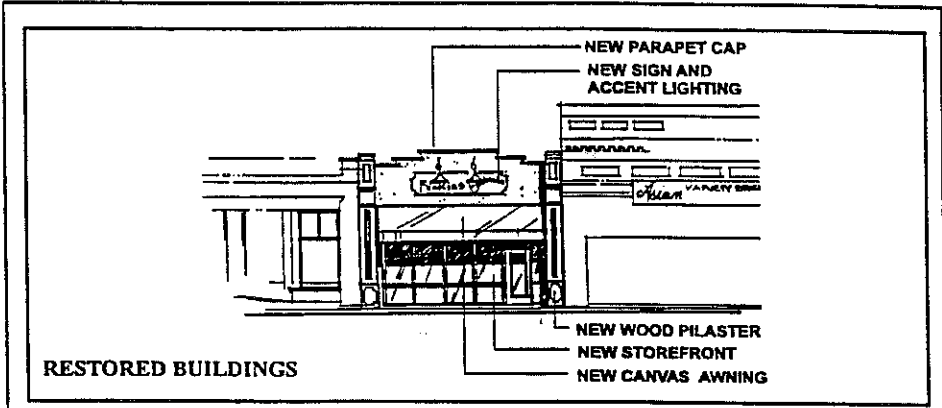
Renovations and Maintenance criteria:

- Painted and stained surfaces should be cleaned regularly and maintained. Metal windows and doors are to be treated for rust protection or finished in a permanent color.
- Business owners should sweep up trash and debris daily around their buildings.
- Owners of vacant lots should cut weeds and eliminate trash on a regular basis.
- Storefront repairs such as old cracked wood, cracks in stucco, chipped paint, broken windows, damaged signs, etc. should be repaired

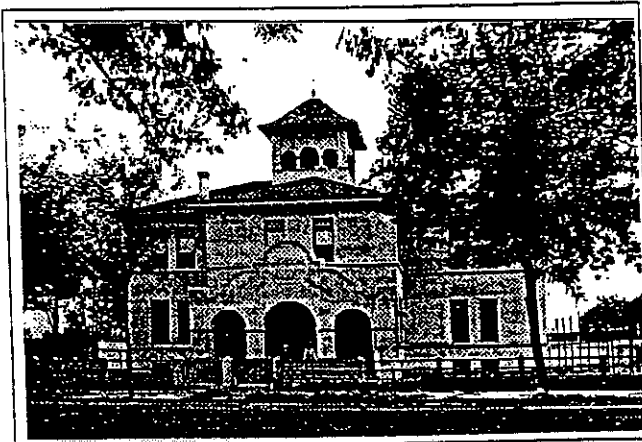
## Renovations Example

The following illustrations show "before and after" views on a number of building facades in downtown. These illustrations have been prepared to provide examples of new facade designs using the guidelines and suggestions from this document.

# LEMOORE DESIGN GUIDELINES







**LANDMARK BUILDING EXAMPLE**

Buildings located on the corner of Heinlen Street and "E" Street are designated landmark building sites due to their proximity to the proposed Naval Air Museum.

Landmark buildings not located in the downtown core area should set back from the street somewhat providing a "green" or "garden" setting to a stately structure.

Integrating pedestrian plazas and courtyards on landmark sites is also encouraged.

Stately entrances and staircases, planters, columns, and large doors emphasize the importance of landmark buildings.

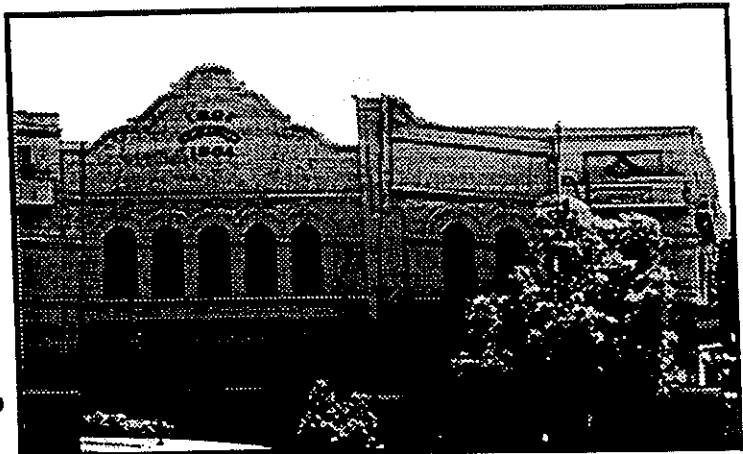
New structures proposed on sites designated for landmark buildings should respond to the pedestrian circulation by providing areas for corner arcades. (See form and massing section for corner examples.)

Corner landmark buildings can emphasize the importance with architectural details, exterior staircases, building height, towers, and arcades.

The use of tower-like design in landmark buildings is encouraged. This will enhance and emphasize important qualities of the site and structure.

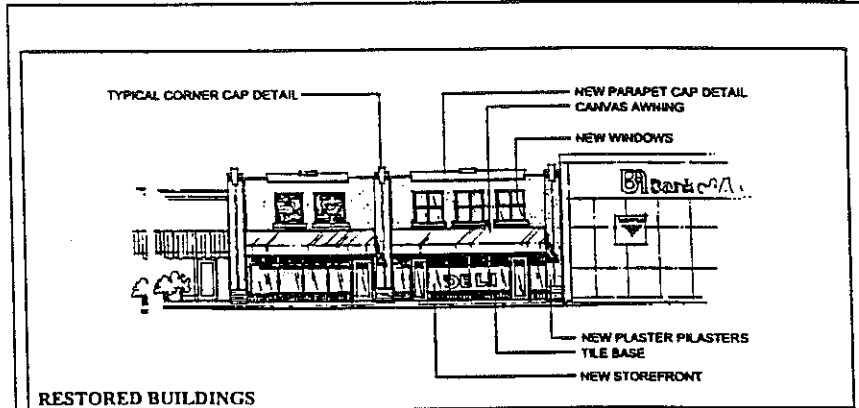
Landmark buildings should be a minimum of two stories to further emphasize the importance of these key intersections.

- Corner arcade
- Extra facade detail
- Recessed windows
- Detailed parapet cap

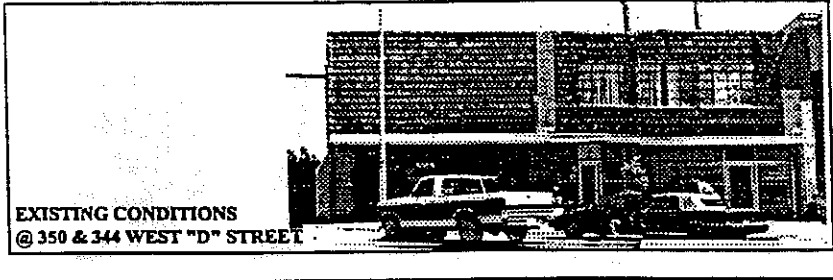


**LANDMARK BUILDING EXAMPLE**

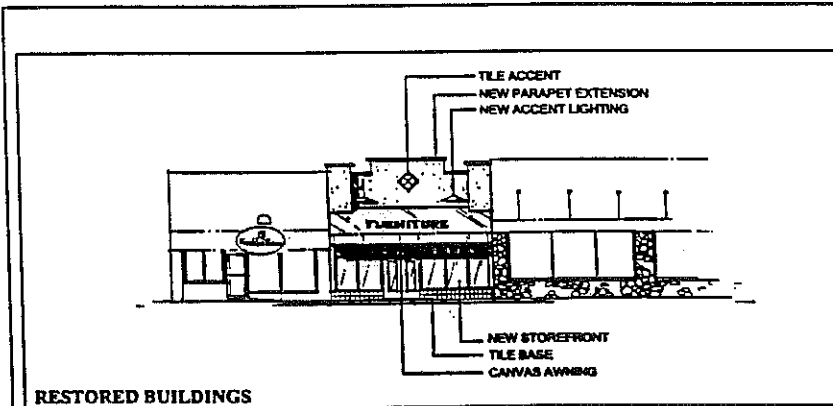
# LEMOORE DESIGN GUIDELINES



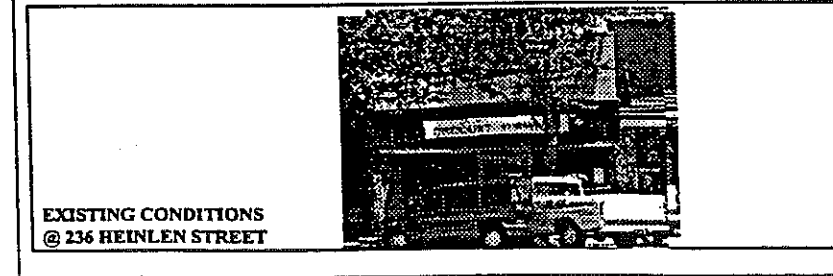
RESTORED BUILDINGS



EXISTING CONDITIONS  
@ 350 & 344 WEST "D" STREET



RESTORED BUILDINGS



EXISTING CONDITIONS  
@ 236 HEINLEN STREET

# LEMOORE DESIGN GUIDELINES



Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a central arched entrance. Annotations include: TILE BAND, NEON SIGN, NEW PLASTER ARCH, IRON ARCH, NEW STOREFRONT, FOAM PLASTER DETAIL, and RECESSED ARCH PLANTER. The word "Archer" is written in cursive above the central arch.

**RESTORED BUILDINGS**

EXISTING CONDITIONS  
@ 317 WEST "D" STREET

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a tiled roof and a central arched entrance. Annotations include: NEW PARAPET, TILE INSET, PLASTER DETAIL, TILE ROOF WITH EXPOSED RAFTER TAILS, NEW STOREFRONT, TILE BASE, RADIUS PLANTER WITH RECESSED PLANTER, and CANVAS AWNING.

**RESTORED BUILDINGS**

EXISTING CONDITIONS  
@ 320 WEST "D" STREET



**III.**  
**Administration**

These Design Guidelines will be administered by the City of Lemoore's Design Review Committee and should allow for flexibility and exploration of a range of creative solutions, provided they are consistent with the intent and requirements in this document.

Within the scope of these Design Guidelines, property owners and developers altering more than 50% of the building's facade or floor area and all new construction, will be required to participate in a design review process. Prior to the beginning of any design work for buildings located within the study area, the property owner and the property owner's design representative will be required to attend a pre-design meeting with City Staff.

The guidelines will be administered pursuant to city zoning code sections 9-15D-1 and 9-15D-4 which are attached as appendices to this document.

v/95609/product/dl-design.doc

